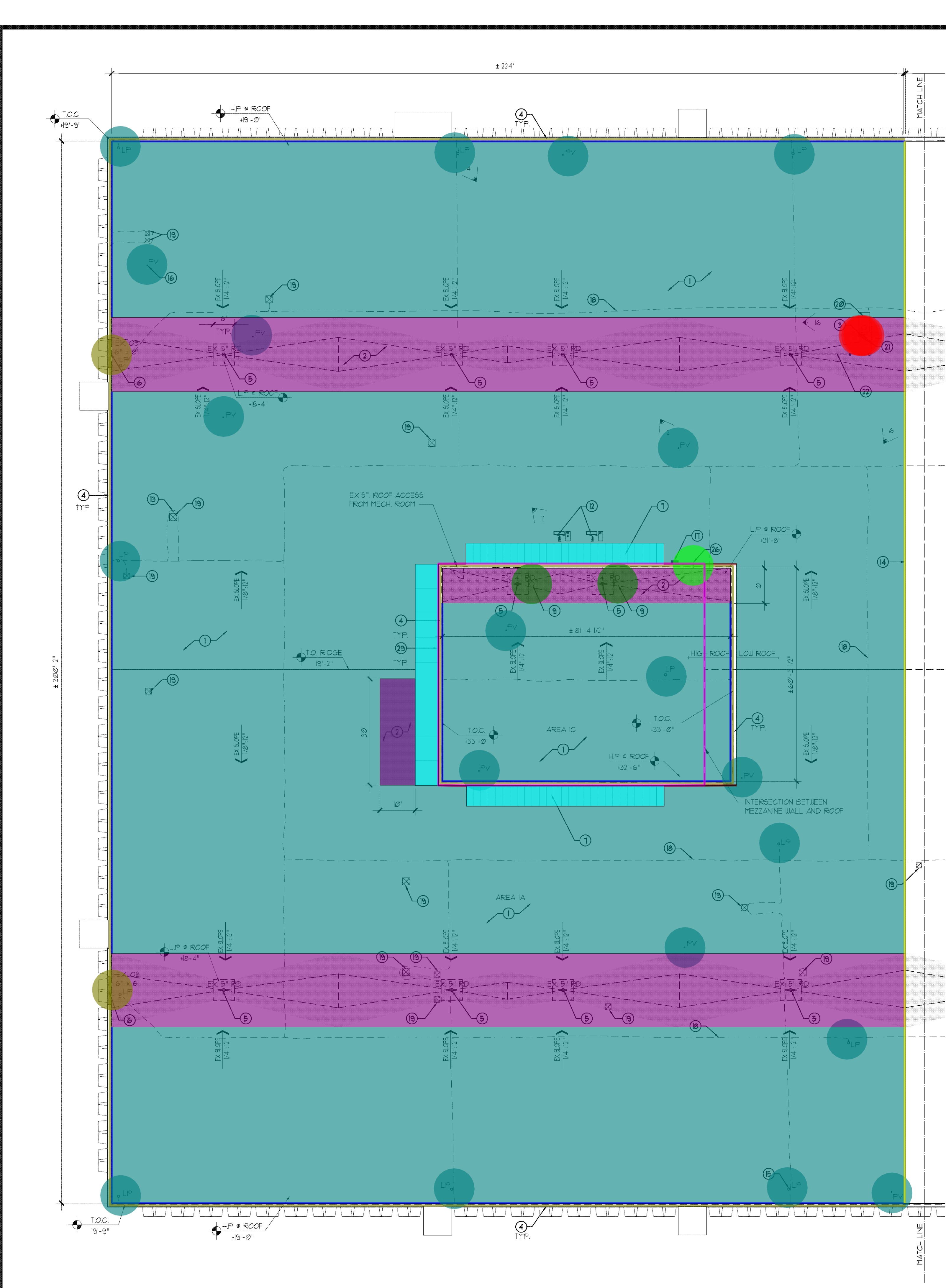




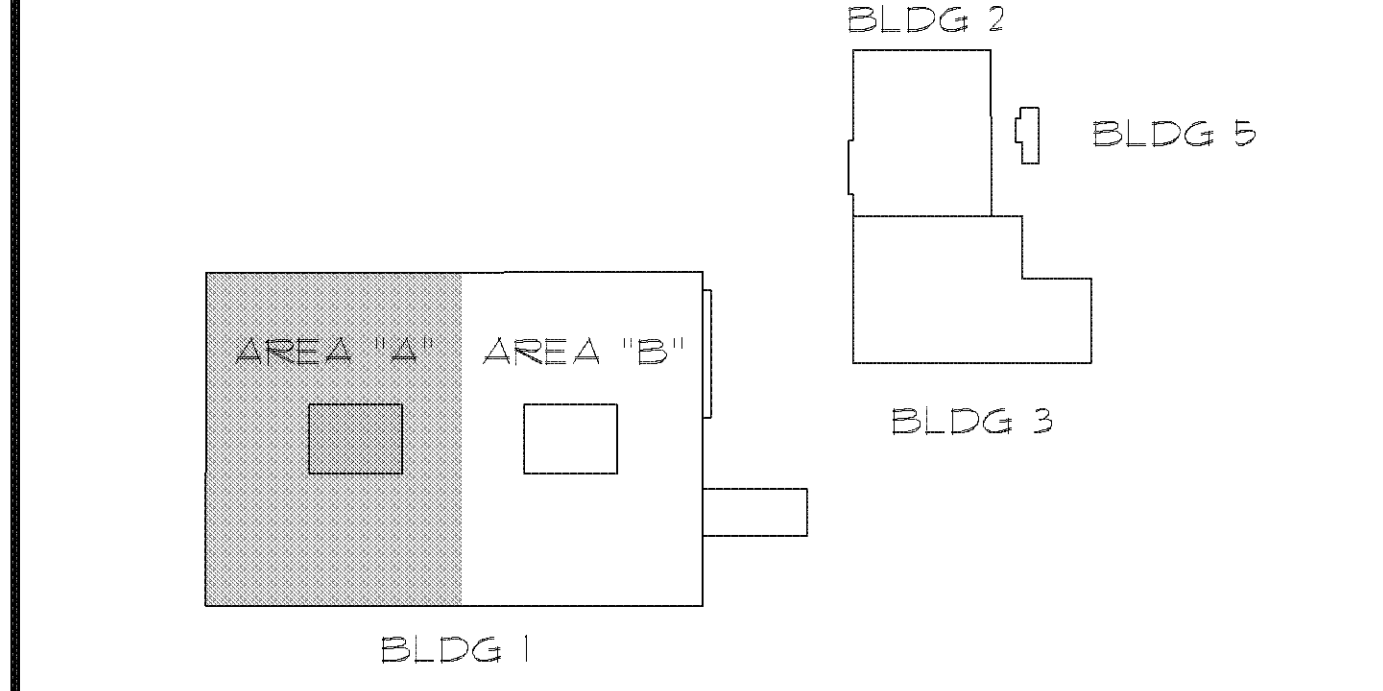
- 1. Prepare existing roof surface
- 1. Remove flashings
- 1. Remove flashings
- 2. Remove roofing assembly
- 4. Remove coping
- 6. Remove portion of wall to enlarge the opening
- 7. Metal structure refurbishment
- 7. Metal structure refurbishment - 14'3"H
- 9. New roof penetration
- 14. Remove and replace expansion joint
- 21. Fill roof slab opening previously for abandoned conduits
- 26. Wall penetration
- 29. Remove flashings

- 1. PREPARE EXISTING SURFACE FOR ROOF RECOVERY. REFER TO ARCHITECTURAL NEW FLOOR PLANS FOR MORE INFO. REMOVAL INCLUDES, BUT NOT LIMITED TO MEMBRANES, FLASHINGS, DRIP EDGE, GUT, COPING, ONE-WAY VENTS, ETC. REFER TO DHS SECTION 01 21 00 FOR MORE INFO.
 - 2. COMPLETELY REMOVE EXISTING ROOF ASSEMBLY, INCLUDING, BUT NOT LIMITED TO MEMBRANES, FLASHINGS, DRIP EDGES, NAULERS, SCUPPERS, DRAIN CAPS, ETC. SLEEP CLEAN EXISTING EXPOSED CONCRETE DECK. CONCRETE ROOF DECK TO REMAIN. THE CONTRACTOR SHALL TAKE AND EXERCISE PRECAUTION NOT TO DAMAGE EXISTING CONCRETE DECK. PATCH, REPAIR, 4. PREPARE SURFACE TO RECEIVE NEW ROOF. REFER TO DHS SECTION 01 21 00 FOR MORE INFO.
 - 3. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN.
 - 4. REMOVE COPING AND ASSOCIATED COMPONENTS AT PARAPET.
 - 5. REMOVE EXISTING ROOF JACK CURB. REMOVE CURB AND RITCH PAN AND ALL ASSOCIATED COMPONENTS. REMOVE AND REPLACE ROOF JACK FOR POWER 4 CONDENSATE LINE. EXISTING ROOF JACK CURB TO REMAIN. SEE DETAIL 10 ON SHEET A-102 FOR MORE INFO.
 - 6. SAW OUT EXISTING PARAPET WALL TO ENLARGE EXISTING SCUPPER OPENING. NEW OPENING OF SCUPPER TO BE 4' WIDE. SEE STRUCTURAL DRAWINGS FOR MORE INFO.
 - 7. REMOVE EXISTING SCUPPER TO BE BRUSHED/CLEANED. PROVIDE ANTI-RUST TREATMENT 4.
 - 8. REMOVE EXISTING SPOKE VENT CURB AND ASSOCIATED COMPONENTS TO BE REMOVED. EXIST ROOF OPENING TO BE ENCLOSED. REFER TO STRUCTURAL DRAWINGS.
 - 9. PROVIDE NEW ROOF PENETRATION ON THE EXISTING CONCRETE DECK FOR NEW OVERFLOW DRAINAGE. SEE STRUCTURAL DRAWINGS FOR MORE INFO.
 - 10. PROVIDE NEW ROOF PENETRATION ON THE EXISTING CONCRETE DECK FOR NEW OVERFLOW DRAINAGE. SEE STRUCTURAL DRAWINGS FOR MORE INFO.
 - 11. EXISTING LIGHTNING PROTECTION PENETRATION TO REMAIN. REMOVE LEAD BOOT 4. PREPARE THE PENETRATION TO RECEIVE A REINFORCE LIQUID APPLIED FLASHING. (TYP.)
 - 12. PREPARE PLUMBING VENT TO BE EXTENDED TO ACCOMMODATE NEW SLOPE IF TOP OF VENT WILL BE LESS THAN 8" FROM NEW FINISH ROOF. IF EXISTING HEIGHT IS SUFFICIENT, PLUMBING VENT TO REMAIN. REMOVE/SCRAPE RUST OFF AND COAT WITH ZINC OXIDE. SEE PLUMBING DRAWING.
 - 13. EXISTING LADDER TO REMAIN.
 - 14. REMOVE AND RE-INSTALL LIGHTNING PROTECTION SYSTEM. RE-INSTALLED SYSTEM TO BE RE-CERTIFIED. SEE ELECTRICAL DRAWINGS FOR MORE INFO.
 - 15. TEMPORARILY REMOVE EXISTING MECHANICAL EQUIPMENT AND CURB ADAPTOR (IF ANY) SET ASIDE IN SAFE LOCATION TAKING CARE NOT TO DAMAGE ROOFING MATERIALS FROM CURB. PREPARE EXISTING CURB FOR EXTENSION AS REQUIRED. ANY DAMAGED CURB SHALL BE REMOVED (TOP OF CURB SHALL BE 12" MIN. ABOVE FINISHED ROOF SURFACE OR 18" FOR KITCHEN EF.) COORDINATE REMOVAL OF EQUIPMENT WITH SCHOOL ACTIVITIES. REFER TO MECHANICAL DRAWINGS.
 - 16. TEMPORARILY REMOVE RTU. EXISTING CURB TO REMAIN. REFER TO MECHANICAL DRAWINGS.
 - 17. REMOVE PITCH PAN AND ABANDONED CONDUITS TO BE CARPED IF LINES BELOW CONCRETE SLAB. FILL IN OPENINGS IN ROOF DECK AND REPAIR DECK AS NECESSARY. REFER TO STRUCTURAL DRAWING.
 - 18. REMOVE AND REPLACE EXISTING CONDENSATE PIPE AND SUPPORT. SEE PLUMBING DRAWINGS FOR MORE INFO.
 - 19. REMOVE EXISTING ABANDONED, ANTENNAS, ETC. FILL IN OPENINGS IN ROOF DECK AND REPAIR DECK AS NECESSARY. REFER TO STRUCTURAL DRAWING.
 - 20. EXISTING ANTENNA TO REMAIN.
 - 21. REMOVE AND REPLACE CAP AND FLASHING AT ABANDONED CURB WITH STAINLESS STEEL SLOPED CAP.
 - 22. PROVIDE WALL PENETRATION ON THE EXISTING MTL. PANEL AND CMU STUCCO WALL FOR NEW OVERFLOW OUTLET. CONTRACTOR SHALL VERIFY NOT TO PENETRATE THROUGH THE EXISTING METAL FRAMING. SEE STRUCTURAL DRAWINGS FOR MORE INFO.
 - 23. SAW OUT EXISTING PARAPET WALL TO ENLARGE EXISTING SCUPPER OPENING. NEW OPENING SCUPPER TO BE 1'-2" WIDE. SEE STRUCTURAL DRAWINGS FOR MORE INFO.
 - 24. LADDER ATTACHMENT TO BE REMOVED FROM ROOF (WALL ATTACHMENT TO REMAIN).
 - 25. REMOVE EXISTING FLASHINGS ON LOWER PART OF MECH ROOM. EXISTING TERMINATION BAR TO REMAIN.
- NOTE:
- REFER TO SHEET A-102 FOR PHOTOS FOR BUILDING 1.
- REFER TO A-102 FOR DEMOLITION ROOF NOTES AND ROOF LEGEND.

2 DEMOLITION KEY NOTES

REMOVE EXISTING ROOF DOWN TO THE CONCRETE DECK. REFER TO KEYNOTE 2. REFER TO NEW PLAN FOR DIMENSIONS.

3 LEGEND



1 BUILDING 1 AREA "A" - DEMOLITION ROOF PLAN
SCALE: 1/16" = 1'-0"

4 KEY PLAN
SCALE: N.T.S.

56,766.6 SQ FT
JORGE A. GUTIERREZ 20.0 ARCHITECT LLC
4800 HOLLYWOOD BLVD. 455-S HOLLYWOOD
889.2 FT
10,458.9 SQ FT
1,039.1 FT
2.0
1,627.8 SQ FT
56.8 FT
2.0
300.1 FT
3.0
1.0
275.7 FT

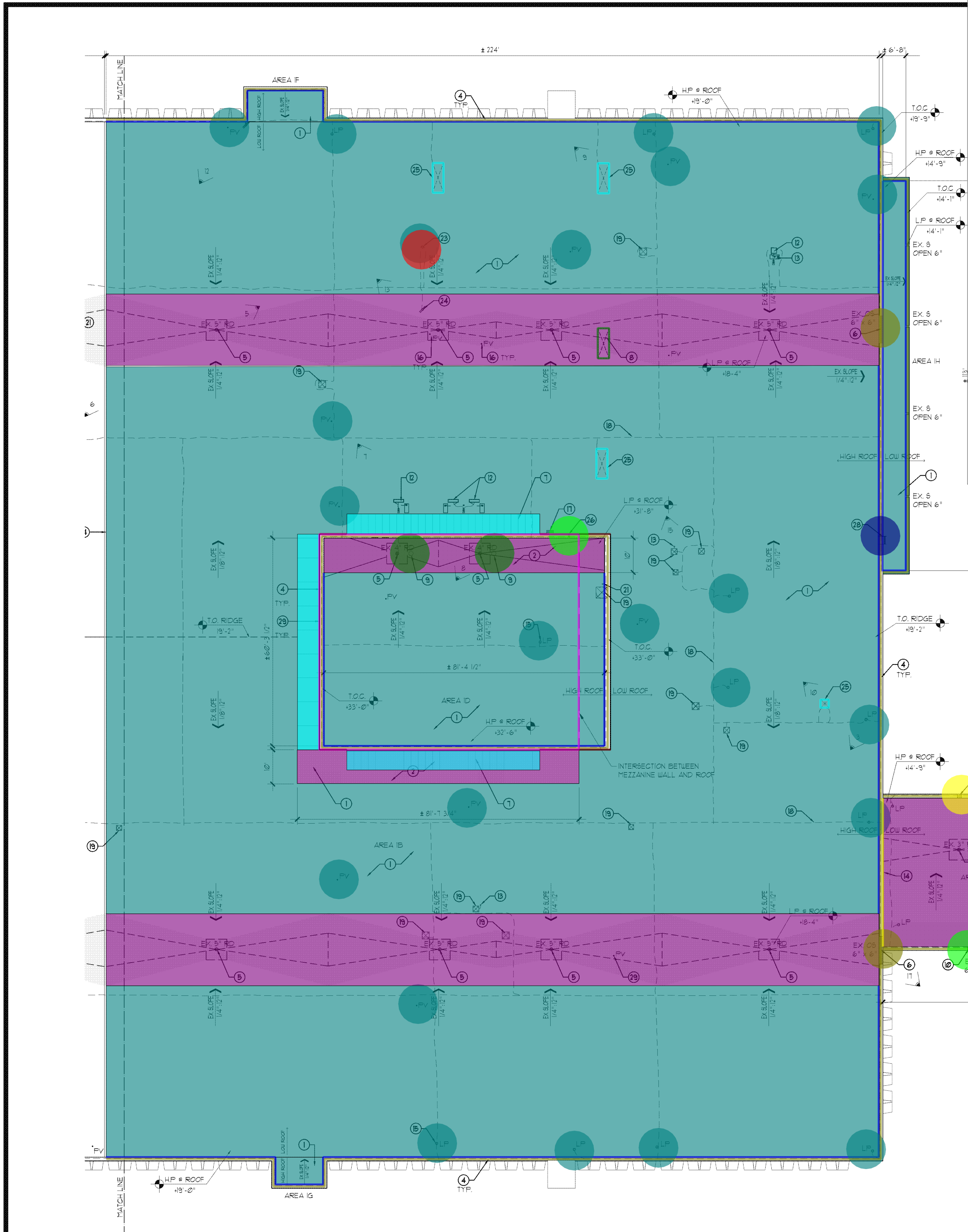
NO.	DATE	REVISION	BY	CHKD.	APP'D.
1	02/22/25	1	A		

DON ESTRIDGE HIGH TECH MS - RE-ROOF BLD. 1, 2 & 3
100% CONSTRUCTION DOCUMENTS
SDPBC PROJECT # 2711-2402
1798 SPANISH RIVER BLVD
BOCA RATON, FL 33431

PROJECT NAME
DEMOLITION ROOF PLAN - BUILDING 1, AREA A
SHEET TITLE

DRAWN DD
CHECKED
DATE 2-14-2025
SCALE AS NOTED
JOB NO. 240708
SHEET

A-102



- 1. Prepare existing roof surface
- 1. Remove flashings
- 1. Remove flashings
- 2. Remove roofing assembly
- 4. Remove coping
- 6. Remove portion of wall to enlarge the opening
- 7. Metal structure refurbishment
- 7. Metal structure refurbishment - 14'3"H
- 8. Remove abandoned curb and infill opening
- 9. New roof penetration
- 10. Infill overflow scupper
- 14. Remove and replace expansion joint
- 23. Remove antennas and infill openings
- 25. Remove and replace cap at curb
- 26. Wall penetration
- 27. Sawcut parapet wall to enlarge opening in parapet wall
- 28. Remove ladder
- 29. Remove flashings

1. PREPARE EXISTING SURFACE FOR ROOF RECOVERY. REFER TO ARCHITECTURAL NEW FLOOR PLANS FOR MORE INFO. REMOVAL INCLUDES, BUT NOT LIMITED TO: MEMBRANES, FLASHINGS, DRAIN EDGES, CANT CORING, ONE-WAY VENTS, ETC. REFER TO DMS SECTION 01 01 00 FOR MORE INFO.

2. COMPLETELY REMOVE EXISTING ROOF ASSEMBLY, INCLUDING, BUT NOT LIMITED TO: MEMBRANES, CANTS, FLASHING, DRAIN EDGES, SCUPPERS, DRAIN CAPS, ETC. SUEEP CLEAN EXISTING EXPOSED CONCRETE DECK. CONCRETE ROOF DECK TO REMAIN. THE CONTRACTOR SHALL PATCH AND EXERCISE PRECAUTION NOT TO DAMAGE EXISTING CONCRETE DECK. PATCH REPAIR + PREPARE SURFACE TO RECEIVE NEW ROOF. REFER TO DMS SECTION 01 01 00 FOR MORE INFO.

3. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN.

4. REMOVE ALL ROOF STRAINER COPIES, ROOF DRAIN BODY EMBEDDED IN CONCRETE TO REMAIN. CLEAN ANY DIRT AND RESIDUE FROM INSIDE ROOF DRAIN. PREPARE EXISTING DRAIN FOR RETROFIT. REFER TO PLUMBING DRAWINGS (TYP). REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

5. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

6. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

7. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

8. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

9. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

10. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

11. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

12. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

13. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

14. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

15. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

16. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

17. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

18. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

19. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

20. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

21. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

22. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

23. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

24. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

25. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

26. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

27. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

28. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

29. EXISTING ELECTRICAL CONDUIT IN USE TO REMAIN. REMOVE 6" X 6" AREA AROUND DRAIN FOR NEW SUMP.

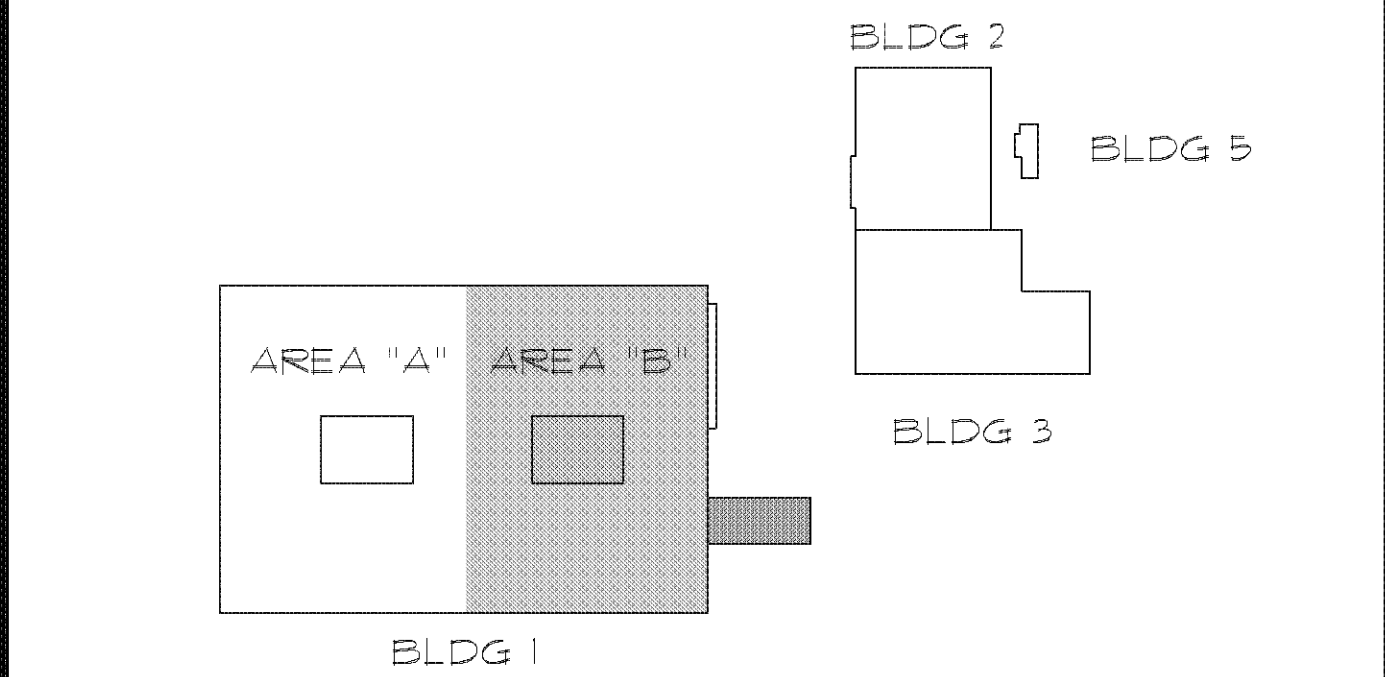
- 20. TEMPORARILY REMOVE RTU EXISTING CURB TO REMAIN. REFER TO MECHANICAL DRAWINGS.
- 21. REMOVE PITCH PAN AND ABANDONED CONDUITS TO BE CAPPED IF LINES BELOW CONCRETE SLAB. FILL IN OPENINGS IN ROOF DECK AND REPAIR DECK AS NECESSARY. REFER TO STRUCTURAL DRAWING.
- 22. REMOVE AND REPLACE EXISTING CONDENSATE PIPE AND SUPPORT. SEE PLUMBING DRAWINGS FOR MORE INFO.
- 23. REMOVE EXISTING ABANDONED, ANTENNAS, ETC. FILL IN OPENINGS IN ROOF DECK AND REPAIR DECK AS NECESSARY. REFER TO STRUCTURAL DRAWING.
- 24. EXISTING ANTENNA TO REMAIN.
- 25. REMOVE AND REPLACE CAP AND FLASHING AT ABANDONED CURB WITH STAINLESS STEEL SLOPED CAP.
- 26. PROVIDE WALL PENETRATION ON THE EXISTING MTL. PANEL AND CMU STUCCO WALL FOR NEW OVERFLOW OUTLET. CONTRACTOR SHALL VERIFY NOT TO PENETRATE THROUGH THE EXISTING METAL FRAMING. SEE STRUCTURAL DRAWINGS FOR MORE INFO.
- 27. SAW CUT EXISTING PARAPET WALL TO ENLARGE EXISTING SCUPPER OPENING. NEW OPENING SCUPPER TO BE 1'-2" WIDE. SEE STRUCTURAL DRAWINGS FOR MORE INFO.
- 28. LADDER ATTACHMENT TO BE REMOVED FROM ROOF (WALL ATTACHMENT TO REMAIN).
- 29. REMOVE EXISTING FLASHINGS ON LOWER PART OF MECH ROOM. EXISTING TERMINATION BAR TO REMAIN.

NOTE:
- REFER TO SHEET A-303 FOR PHOTOS FOR BUILDING 1.
- REFER TO G-003 FOR DEMOLITION ROOF NOTES AND ROOF LEGEND.

2 DEMOLITION KEY NOTES

REMOVE EXISTING ROOF DOWN TO THE CONCRETE DECK. REFER TO KEYNOTE 2. REFER TO NEW PLAN FOR DIMENSIONS.

3 LEGEND



4 KEY PLAN

SCALE: N.T.S.

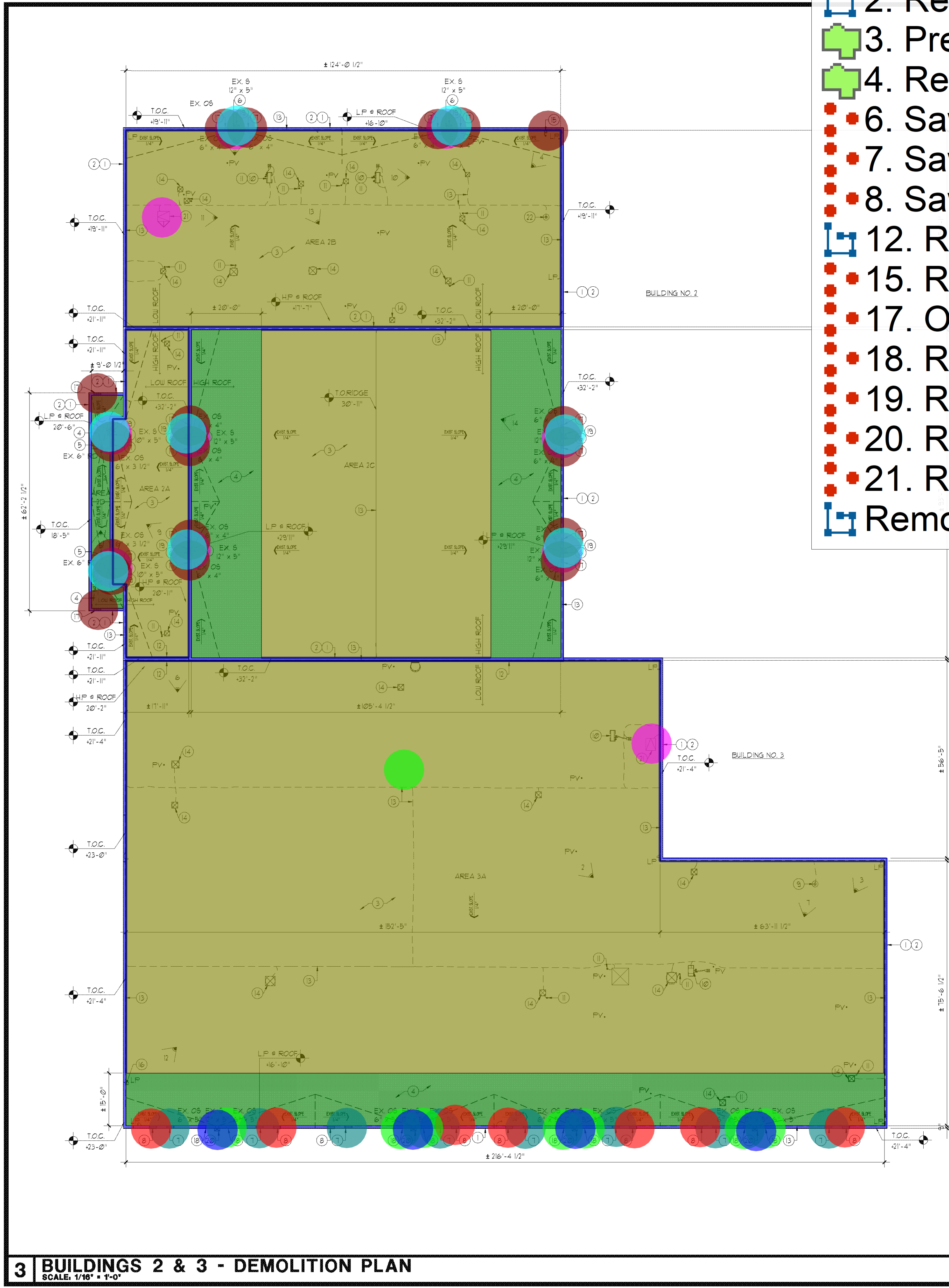
57,065.2 SQ FT
23.0
JORGE A. GILBERT
1,161.9 FT
14,945.4 SQ FT
1,432.7 FT
2.0
1,600.8 SQ FT
57.1 FT
24.0 FT
2.0
2.0
43.1 FT
1.0
80.5 FT
1.0
2.0
1.0
275.2 FT

DON ESTRIDGE HIGH TECH MS - REROOF BLDGS. 1, 2 & 3
100% CONSTRUCTION DOCUMENTS
SDPBC PROJECT # 2711-2402
1798 SPANISH RIVER BLVD
BOCA RATON, FL 33431

PROJECT NAME
DEMOLITION
ROOF PLAN -
BUILDING 1,
AREA B
SHEET TITLE

DRAWN DD
CHECKED
DATE 2-14-2025
SCALE AS NOTED
JOB NO. 240708
SHEET

A-103



- 2. Remove coping
- 3. Prepare roof surface
- 4. Remove roofing
- 6. Sawcut and remove portion of parapet
- 7. Sawcut parapet wall to enlarge opening
- 8. Sawcut parapet wall for new scupper opening
- 12. Remove and replace expansion joint
- 15. Relocate device and infill opening
- 17. Overflow scupper to be enlarged
- 18. Remove overflow scupper
- 19. Remove collector
- 20. Remove collector head and downspout
- 21. Remove and replace roof hatch
- Remove flashings

- 1. EXISTING PARAPET TO REMAIN
- 2. REMOVE COPING AND ASSOCIATED COMPONENTS
- 3. PREPARE EXISTING SURFACE FOR ROOF RECOVERY. REFER TO ARCHITECTURAL NEW FLOOR PLANS FOR MORE INFO. REMOVAL INCLUDES BUT NOT LIMITED TO MEMBRANES, FLASHINGS/COUNTER FLASHING, DRIP EDGE, CANT COPING, ONE-WAY JOINTS, ETC. REFER TO DMS SECTION 01 01 00 FOR MORE INFO.
- 4. COMPLETELY REMOVE AND DISPOSE OF EXISTING ROOF ASSEMBLY DOWN TO THE METAL DECK INCLUDING BUT NOT LIMITED TO MEMBRANES, JOINTS, FLASHING, DRIP EDGES, NAILERS, SCUPPERS, DRAIN CAPS, ETC. EXERCISE PRECAUTION NOT TO DAMAGE EXISTING MTL. DECK. PATCH EXISTING NEW ROOF. REFER TO DMS SECTION 01 01 00 FOR MORE INFO.
- 5. COMPLETELY REMOVE AND DISPOSE OF EXISTING ROOF DRAIN BODY TO REMAIN UNLESS SEVERELY DAMAGED. CLEAN AND REPAIR EXISTING ROOF DRAIN REFER TO PLUMBING DRAWINGS (TYP)
- 6. SAWCUT EXISTING PARAPET WALL TO ENLARGE NEW OVERFLOW SCUPPER FINISHED OPENING TO BE 24\"/>

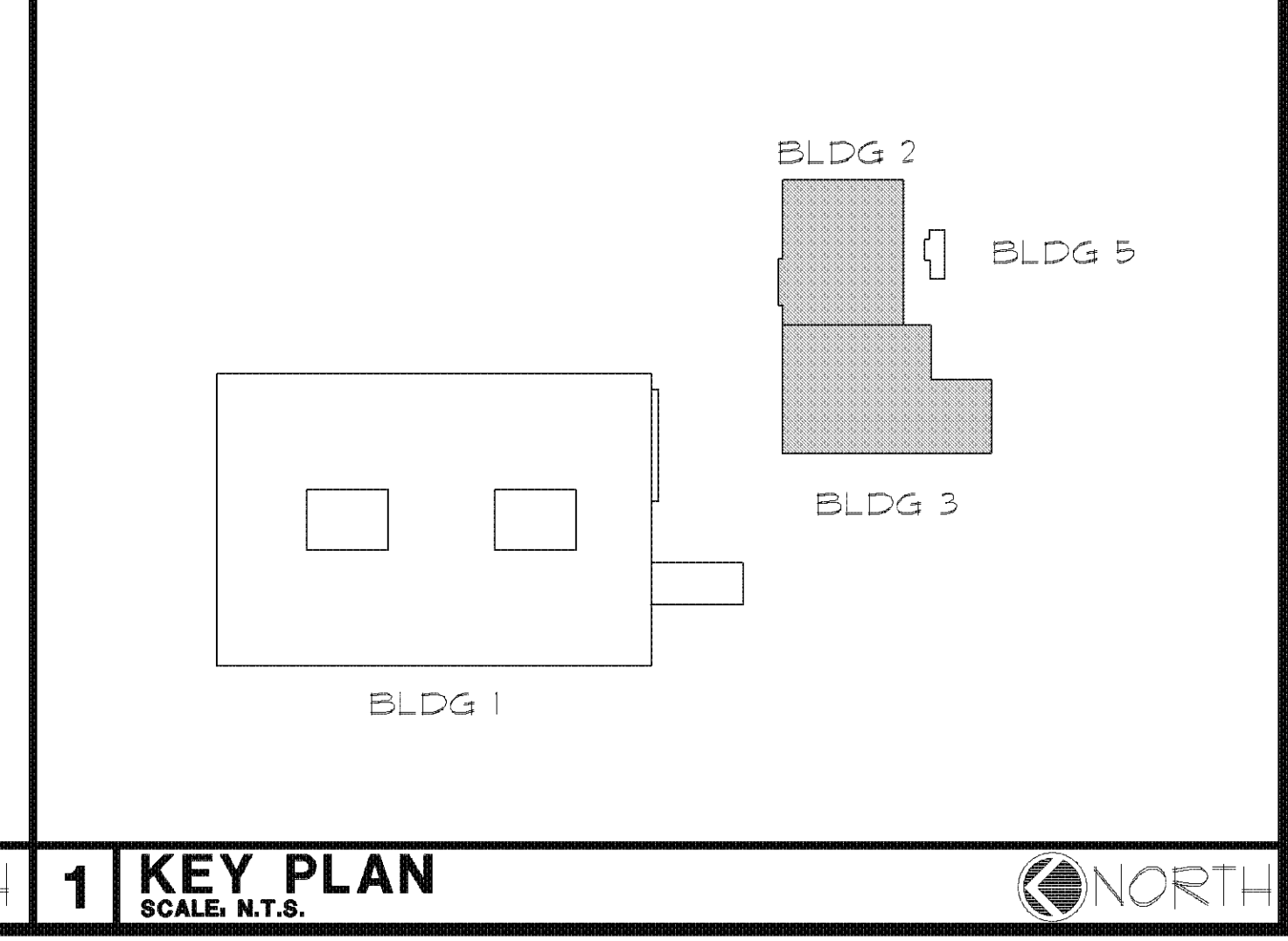
21 REMOVE AND REPLACE EXISTING ROOF HATCH CURB AND LADDER TO REMAIN.
22 EXISTING FLUE VENT TO REMAIN.

NOTE:
- REFER TO SHEET A-104 FOR PHOTOS FOR BUILDING 2 & 3.
- REFER TO G-002 FOR DEMOLITION ROOF NOTES AND ROOF LEGEND.

2 DEMOLITION KEY NOTES

REMOVE EXISTING ROOF DOWN TO THE METAL DECK.

2 LEGEND



1,433.5 FT

36,681.7 SQ FT

7,349.0 SQ FT

8.0

8.0

7.0

142.6 FT

1.0

17.0

8.0

8.0

4.0

2.0

1,172.5 FT

JORGE A. GUTIERREZ

4000 Hollywood Blvd., Suite 100

Fort Lauderdale, FL 33311

954.571.1717

WWW.JAGAJA.COM

LICENSURE

AR 14000

March 2025

NO. DATE

REVISION

BLDG DET. COMMENTS

DON ESTRIDGE HIGH TECH MS - RE-ROOF BLDGS. 1, 2 & 3

100% CONSTRUCTION DOCUMENTS

SDPBC PROJECT # 2711-2402

1798 SPANISH RIVER BLVD

BOCA RATON, FL 33431

PROJECT NAME

DEMOLITION ROOF PLAN - BUILDING 2 & 3

SHEET TITLE

DRAWN

AE

CHECKED

DATE

2-14-2025

SCALE

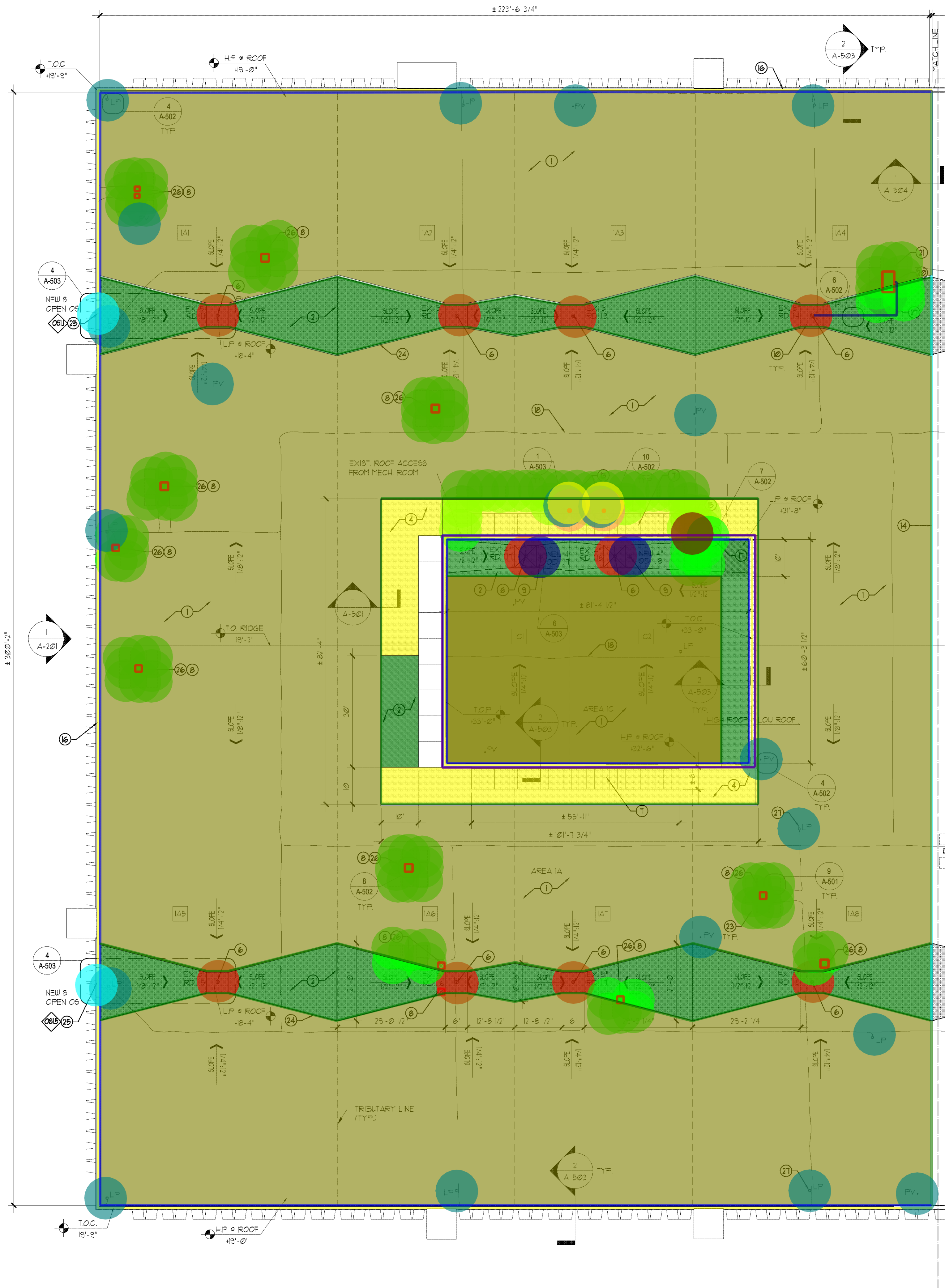
AS NOTED

JOB. NO.

240708

SHEET

A-104



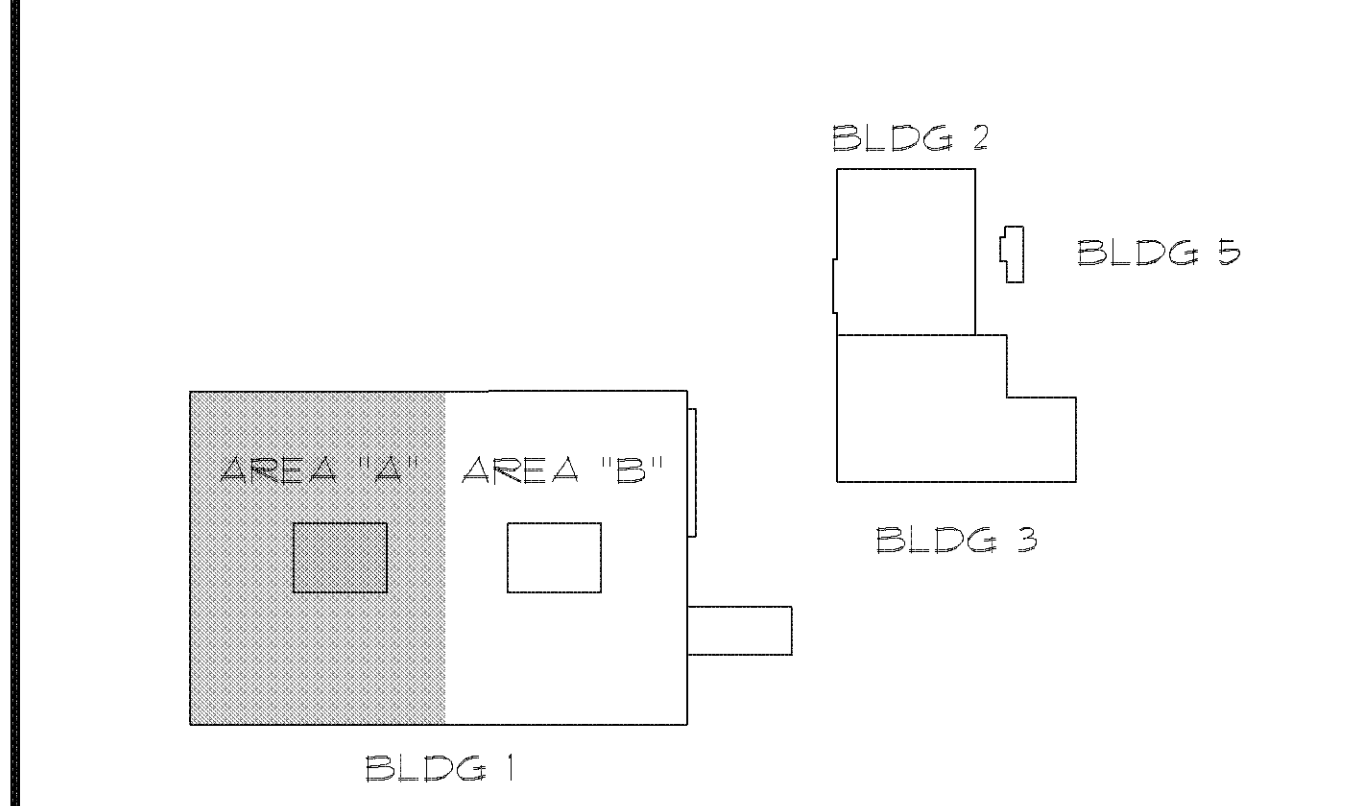
- 1. Roof recovery
- 2. Reroofing (also see note 10 and 24)
- 4. Roof recovery
- 6. New retrofit drain w/ aluminum strainer collar and flashing
- 10/A502 - Goose neck
- 13. Equipment support - 1/A503
- 14. Aluminum expansion joint - 1/A504
- 15. Existing ladder work
- 16. New alum coping - 2/A503
- 17. new overflow outlet - 7/A502
- 21. Roof cricket
- 23. Roof pad - 9/A501
- 25. Flashing at scupper
- 27. Flashing at conduit
- 27. Flashing at roof penetration - 4/A502
- Counter Flashing - 5/A504
- Flashing at mechanical curb - 8/A502
- Flashing at roof drain
- Pipe support - 6/A502
- Roof membrane flashing - 2/A503
- Roof transition - 7/A501

- 16 RE-INSTALL & RE-CERTIFY LIGHTNING PROTECTION SYSTEM PROVIDING CONNECTION WITH EQUIPMENT AND REPAIR SYSTEM AS REQUIRED. PROVIDE LIQUID APPLIED FLASHING FOR PENETRATIONS. SEE ELECTRICAL DRAWINGS.
- 20 RE-INSTALL RTU. PROVIDE NEW CONDENSATE PIPING & SUPPORT. SEE MECH. & ELECT. DRAWINGS FOR MORE DETAILS. SEE DETAIL 6 ON SHEET A-503 FOR CONDENSATE SUPPORT DETAIL.
- 21 PROVIDE CRICKET 1/2" x 12" SLOPE FOR EACH CURB WIDER THAN 30".
- 24 PROVIDE NEW CRICKET, 1/2" x 12" SLOPE, UNLESS OTHERWISE NOTED.
- 26 PROVIDE NEW ALUM. FLASHING FOR NEW SECONDARY SCUPPER CLEAR OPENING 8" WIDE. OVERFLOW INVERT SCUPPER SHALL BE MAX 4" ABOVE LOW POINT OF ROOF (BOTTOM OF PRIMARY DRAIN). REFER TO STRUCTURAL DRAWINGS FOR NEW OPENING.
- 26 EXTEND CURB, IF APPLICABLE, TO BE A MINIMUM OF 12" ABOVE FINISHED ROOF. IF CURB IS NOT PROPERLY ATTACHED TO STRUCTURE PROVIDE NEW CURB. REFER TO MECHANICAL DRAWINGS.
- 27 PROVIDE FULLY REINFORCED LIQUID APPLIED FLASHING TO EXISTING CONDUIT OR PLUMBING (TYP).
- 28 EXISTING SCUPPER TO REMAIN.
- 29 PROVIDE NEW STAINLESS STEEL CAP AND FLASHING AT ABANDONED CURB.
- 30 PATCH/REPAIR AND SEAL ROOF PENETRATION AFTER REMOVING LADDER BRACKET ATTACHMENT FROM ROOF FINISH. LADDER WALL ATTACHMENTS TO REMAIN INTACT.

2 NEW KEY NOTES

- PORTION OF ROOF AREA TO INFILL WITH COMPATIBLE MATERIAL TO SIT FLUSH WITH NEW ROOF.
- PORTION OF ROOF TO PROVIDE FRTMA LIQUID APPLIED ON EXISTING ROOF MEMBRANE.

3 LEGEND



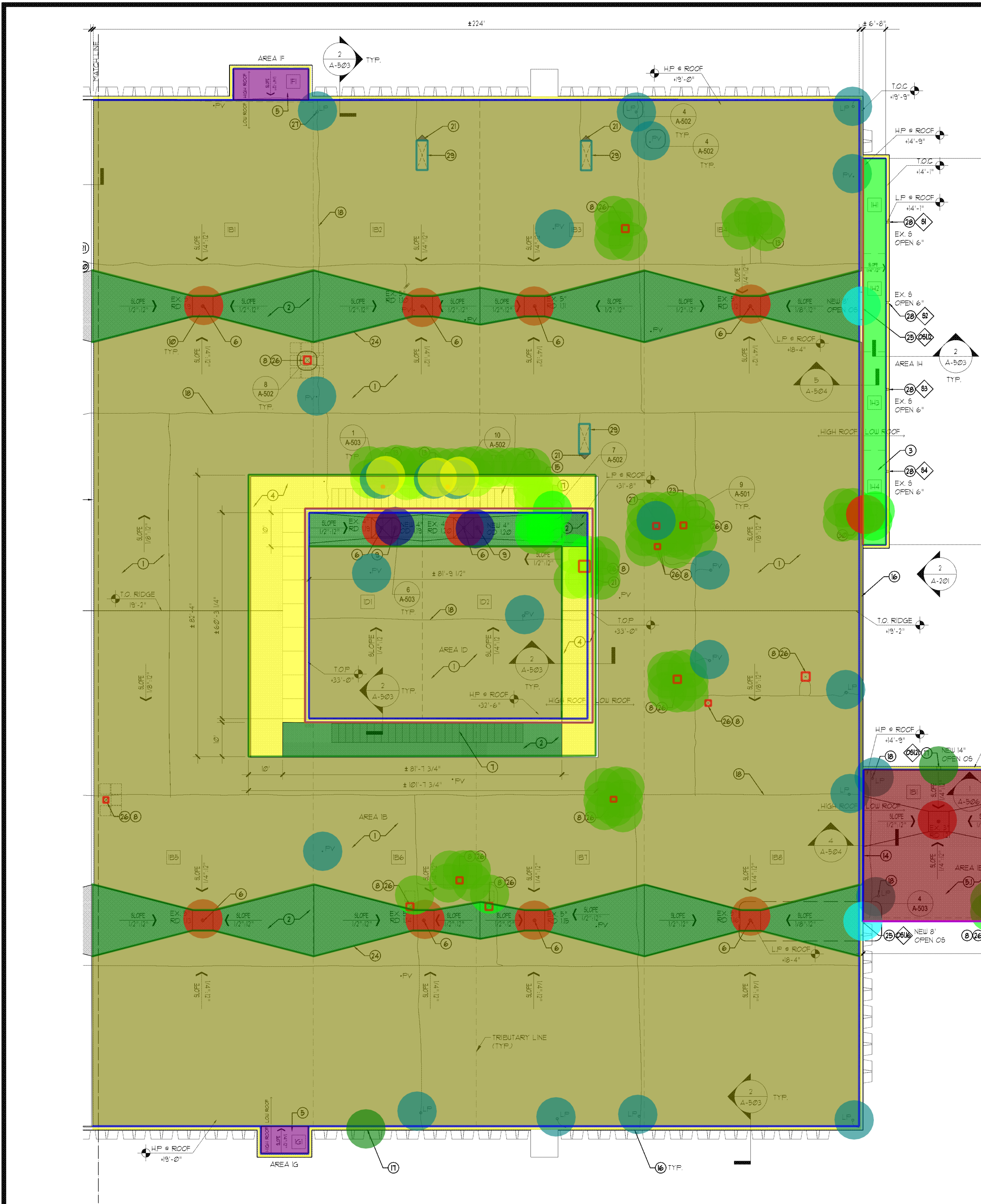
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6,912.9 SQ FT
2,418.4 SQ FT
10.0
2.0
2.0
300.2 FT
1.0
1,039.3 FT
1.0
2.7 SQ FT
117.0
2.0
1.0
20.0
293.9 FT
117.1 FT
2.0
31.8 FT
1,324.7 FT
1,411.4 FT

NO.	DATE	REVISION	BLDG DET. COMMENTS
1	03/19/25	1	ISSUED FOR PERMIT
2	03/20/25	1	ISSUED FOR PERMIT
3	03/20/25	1	ISSUED FOR PERMIT
4	03/20/25	1	ISSUED FOR PERMIT
5	03/20/25	1	ISSUED FOR PERMIT
6	03/20/25	1	ISSUED FOR PERMIT
7	03/20/25	1	ISSUED FOR PERMIT
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9	03/20/25	1	ISSUED FOR PERMIT
10	03/20/25	1	ISSUED FOR PERMIT
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22	03/20/25	1	ISSUED FOR PERMIT
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26	03/20/25	1	ISSUED FOR PERMIT
27	03/20/25	1	ISSUED FOR PERMIT
28	03/20/25	1	ISSUED FOR PERMIT
29	03/20/25	1	ISSUED FOR PERMIT
30	03/20/25	1	ISSUED FOR PERMIT

DON ESTRIDGE HIGH TECH MS - REROOF BLD. 1, 2 & 3
100% CONSTRUCTION DOCUMENTS
SDPBC PROJECT # 2711-2402
1798 SPANISH RIVER BLVD
BOCA RATON, FL 33431

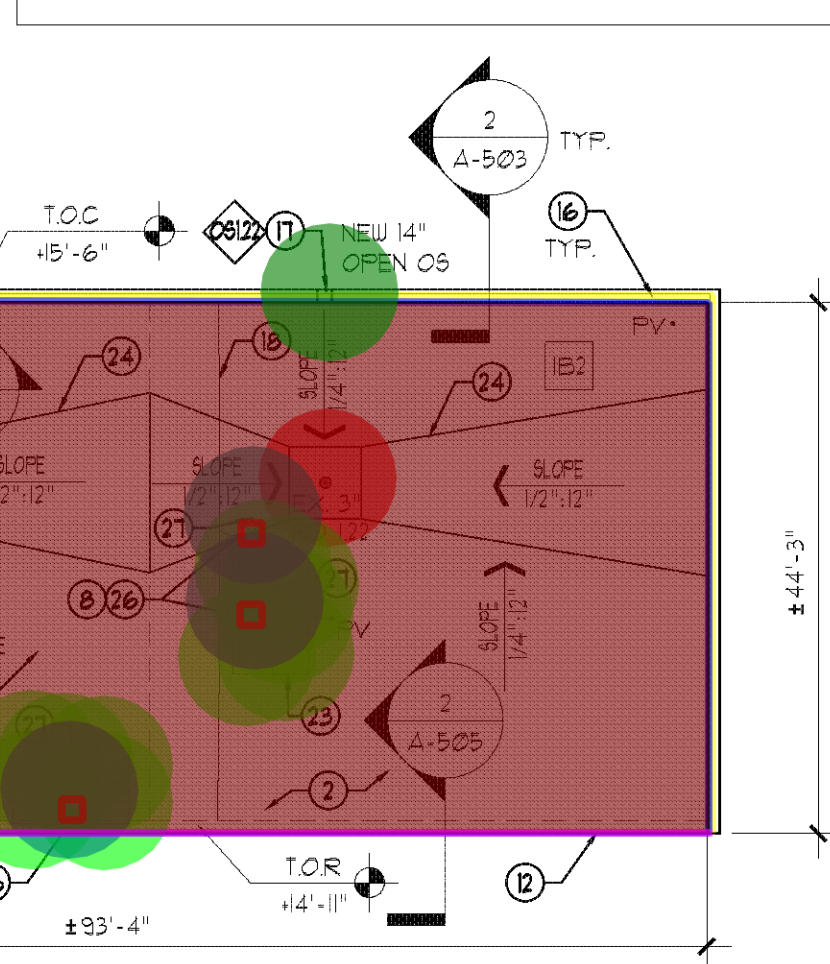
PROJECT NAME
NEW
ROOF PLAN -
BUILDING 1,
AREA A
SHEET TITLE

DRAWN
DD
CHECKED
DATE
2-14-2025
SCALE
AS NOTED
JOB NO.
240708
SHEET



1 BUILDING 1 - AREA B - NEW ROOF PLAN
SCALE: 3/32" = 1'-0"

- 1. Roof recovery
- 2. Reroofing (also see note 10 and 24)
- 3. New roofing - 4/A501
- 4. Roof recovery
- 5. Roof recovery
- 5.1. Reroofing
- 6. New retrofit drain w/ aluminum strainer collar and flashing
- 12. Flashing - 2/A505
- 13. Equipment support - 1/A503
- 14. Expansion joint - 4/A504
- 16. New alum coping - 2/A503
- 17. new overflow outlet - 7/A502
- 17. New overflow scupper
- 21. Roof cricket
- 23. Roof pad - 9/A501
- 25. Flashing at scupper
- 27. Flashing at roof penetration - 4/A502
- 29. SS cap flashing at abandoned curb
- 30. Patch and repair roofing after ladder removal
- Counterflashing - 5/A504
- Flashing at mechanical curb - 8/A502
- Flashing at roof drain
- Roof membrane flashing - 2/A503
- Roof transition - 7/A501



2 NEW KEY NOTES

HATCH AREA REFERS TO KEYNOTE 2

HATCH AREA REFERS TO KEYNOTE 4

HATCH AREA REFERS TO KEYNOTE 51

3 LEGEND

BLDG 1

BLDG 2

BLDG 3

BLDG 4

BLDG 5

4 KEY PLAN
SCALE: N.T.S.

57,336.3 SQ FT

7,057.5 SQ FT

755.4 SQ FT

2,663.8 SQ FT

309.5 SQ FT

4,137.5 SQ FT

12.0

93.9 FT

3.0

44.3 FT

1,339.5 FT

1.0

3.0

7.3 SQ FT

99.0

2.0

27.0

70.9 FT

1.0

406.6 FT

138.7 FT

2.0

1,909.6 FT

1,415.4 FT

DON ESTRIDGE HIGH TECH MS

100% CONSTRUCTION D

SDPBC PROJECT # 27

1798 SPANISH RIVER

BOCA RATON, FL

PROJECT NAME

NEW ROOF PLAN - BUILDING 1, AREA B

SHEET TITLE

DRAWN DD

CHECKED

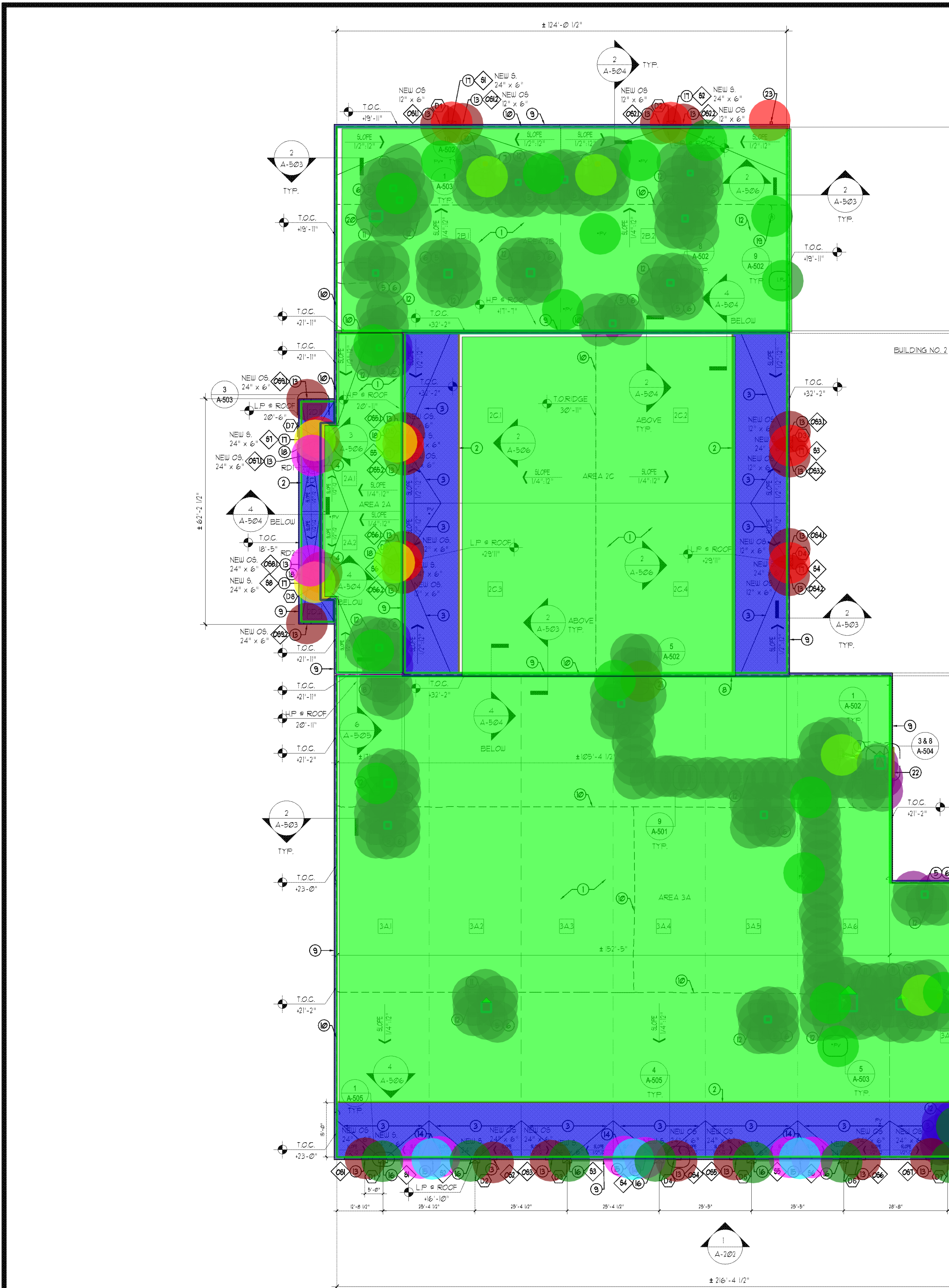
DATE 2-14-2025

SCALE AS NOTED

JOB NO. 240708

SHEET

A-106



- 1. Roof recovery
- 2. Reroofing (Also see 3)
- 4. Alum. dome strainer and flashing
- 7. Equipment support - 1/A503
- 8. Expansion joint
- 9. Coping - 2/A503
- 9. Coping - 6/A505
- 11. Cricket
- 12. Traffic pads - 9/A501
- 13. Flashing at scupper - 4/A505
- 14. Infill secondary scupper
- 15. Infill primary scupper
- 16. New collector and head - 1/A505
- 17. Aluminum collector head
- 18. Splash block
- 20. New hatch
- 21. Ladder work - 5/A502
- 22. Guardrail edge protection - 3&8/A504
- 23. Relocate device
- Counter flashing - 2/A504
- Counter flashing - 4/A504
- Flashing at hatch curb - 1/A502
- Flashing at mechanical curb - 8/A502
- Flashing at mechanical curb - 10/A502
- Flashing at roof penetration - 5/A503
- Roof membrane flashing
- Roof transition

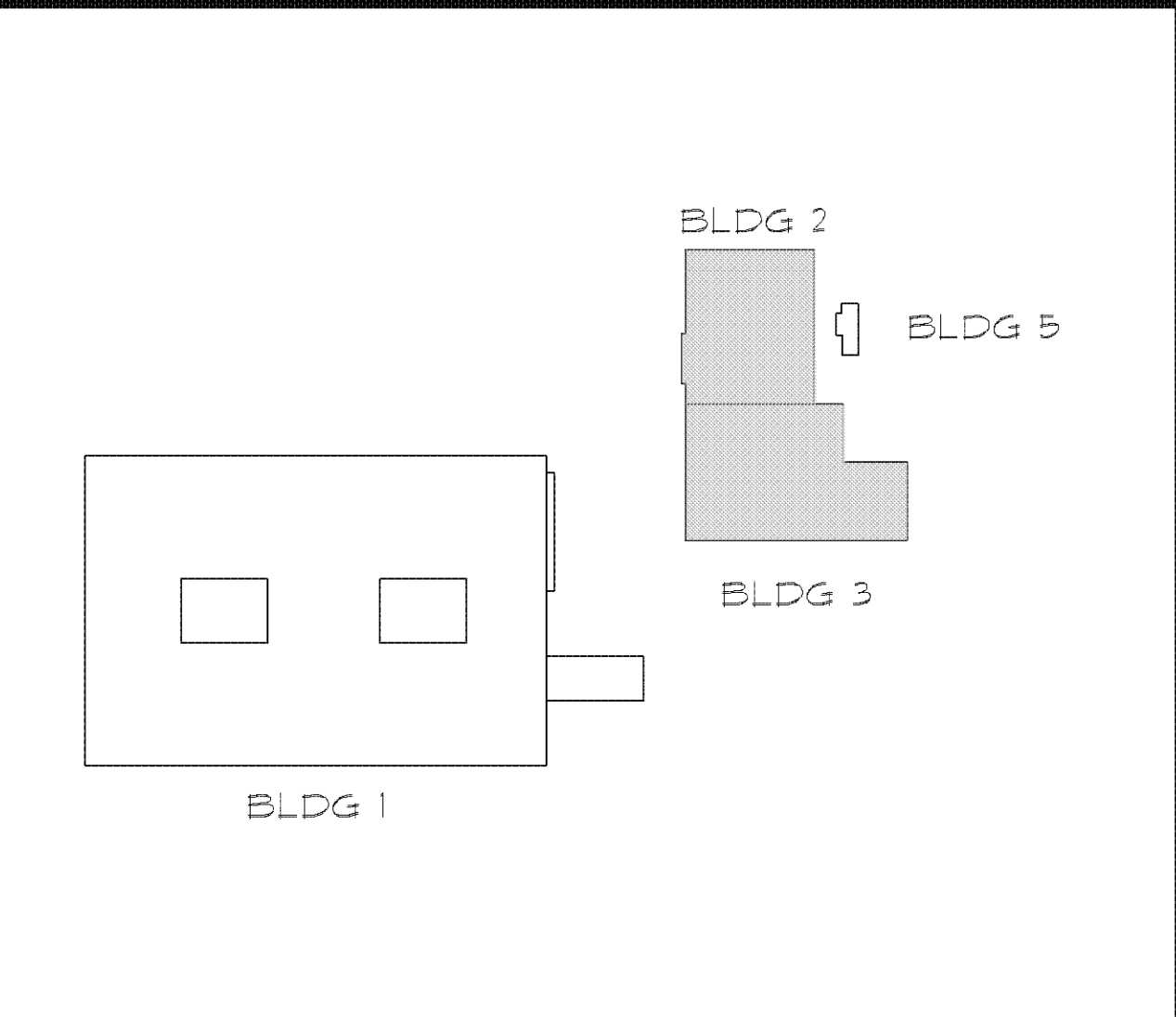
- 1. ROOF RECOVERY - PROVIDE NEW TORCH APPLIED CAP SHEET OVER MECHANICALLY ATTACHED BASE SHEET OVER NEW MECHANICALLY ATTACHED ASPHALTIC COVER BOARD OVER THE EXISTING ROOF. SEE DETAIL 5 ON SHEET A-501.
- 2. RE-ROOF - PROVIDE NEW TORCH APPLIED CAP SHEET OVER MECHANICALLY ATTACHED BASE SHEET OVER NEW MECHANICALLY ATTACHED ASPHALTIC COVER BOARD OVER MIN. R-10 INSULATION OVER THE EXISTING METAL DECK. SEE DETAIL 6 ON SHEET A-501.
- 3. PROVIDE NEW CRICKET 1/2" x 3" SLOPE.
- 4. PROVIDE NEW REMOVABLE CAST ALUMINUM DOME STRAINER COLLAR & ASSOCIATED COMPONENTS RE-SEAL CONNECTION BETWEEN EXISTING DRAIN BODY AND PIPING.
- 5. REINSTALL ALL TEMPORARILY REMOVED MECHANICAL EQUIPMENT & CURB ADAPTERS IF APPLICABLE TO ORIGINAL LOCATIONS. PROVIDE NEW FLASHING & PARTNERS. HURRICANE TIE BOLDS. REFER TO MECHANICAL DRAWINGS FOR COMPLETE REQUIREMENTS.
- 6. EXTEND CURB IF APPLICABLE TO BE A MINIMUM OF 12" ABOVE FINISHED ROOF. IF CURB IS NOT PROPERLY ATTACHED TO STRUCTURE PROVIDE NEW CURB. REFER TO MECHANICAL DRAWINGS.
- 7. REINSTALL CONDENSING UNIT AND PROVIDE NEW SUPPORT STAND WITH ANTI VIBRATION RUBBER PAD AND ASSOCIATED COMPONENT. MIN. 34" HEIGHT FROM BOTTOM OF LOWEST HORIZONTAL SUPPORT MEMBER TO TOP OF FINISHED ROOFING. RELOCATE EXISTING DISCONNECT & RECEPTACLE (IF ANY) ONTO THE NEW STAND. PROVIDE NEW ROOF JACK IN EXACT SAME LOCATION. REFER TO MECHANICAL, ELECTRICAL & STRUCTURAL DRAWINGS FOR MORE INFO. SEE DETAIL 10 ON SHEET A-502 FOR MORE INFO.
- 8. PROVIDE NEW MIN. 48 GAUGE ALUM. EXPANSION JOINT. SEE DETAIL 4 ON SHEET A-504 FOR MORE INFO.
- 9. PROVIDE NEW ALUMINUM COPING MIN. 48 GAUGE. SEE DETAIL 1 ON SHEET A-503 FOR MORE INFO.
- 10. REINSTALL & RE-CERTIFY LIGHTNING PROTECTION SYSTEM PROVIDING CONNECTION WITH EQUIPMENT AND REPAIR SYSTEM AS REQUIRED. PROVIDE LIQUID APPLIED FLASHING FOR PENETRATIONS. SEE ELECTRICAL DRAWINGS.
- 11. PROVIDE CRICKET 1/2" x 3" SLOPE FOR EACH CURB WIDER THAN 30".
- 12. PROVIDE NEW TRAFFIC PAD AROUND EQUIPMENT THAT NEED MAINTENANCE. ROOF ACCESS ETC. (TYP.)
- 13. PROVIDE NEW ALUM. FLASHING FOR NEW ENLARGED SECONDARY SCUPPER CLEAR OPENING. REFER TO DRAINAGE CALCULATIONS FOR SIZING. OVERFLOW INVERT SCUPPER SHALL BE MAX 4" ABOVE LOW POINT OF ROOF (BOTTOM OF PRIMARY SCUPPER). REFER TO STRUCTURAL DRAWINGS FOR NEW OPENING.
- 14. EXISTING SECONDARY SCUPPER TO BE FILLED. REPAIR, PAINT AND PATCH WALL AS NEEDED.
- 15. EXISTING PRIMARY SCUPPER TO BE FILLED. REPAIR, PAINT AND PATCH WALL AS NEEDED.
- 16. PROVIDE NEW ALUM. COLLECTOR HEAD AT DESIGNATED LOCATION. DOWNSPOUTS TO BE PERSED INTO SINGLE 5 1/2" x 5 1/2" AND TIED INTO EXISTING STORM DRAINAGE. PAINT NEW CONDUCTOR HEAD AND DOWNSPOUT TO MATCH EXISTING SURROUNDINGS.
- 17. PROVIDE ALUM. NEW COLLECTOR HEAD TO CONNECT TO EXISTING DOWNSPOUTS. PAINT NEW CONDUCTOR HEAD TO MATCH EXISTING SURROUNDINGS.
- 18. PROVIDE NEW SPLASH BLOCK.
- 19. PROVIDE NEW LAUNDRY FLUE. SEE DETAIL 5 ON SHEET A-503 (MECH SHEETS FOR MORE INFO).
- 20. PROVIDE NEW HATCH. SEE DETAIL 1 ON SHEET A-502 FOR MORE INFO.
- 21. EXISTING CAGE LADDER CONNECTION TO BE MODIFIED FOR CORRECT COUNTER FLASHING. SEE DETAIL 5 ON SHEET A-502 FOR MORE INFO.
- 22. PROVIDE NEW GUARDRAIL EDGE PROTECTION 42" HEIGHT AFF. AT AREAS OF EXISTING EQUIPMENT REQUIRING MAINTENANCE LOCATED WITHIN 10 FEET OF ROOF EDGE FOR ROOF TOP UNIT OR LESS THAN 34" WITHOUT PARAMETER. THE GUARD RAIL EXTENDING 30" MIN. BEYOND EACH END OF THE APPLIANCE, EQUIPMENT, RAIL OR COMPONENT. SEE DETAIL 3 & 4 ON SHEET A-504 FOR MORE INFO.
- 23. RELOCATED DEVICE ON THE EXTERIOR WALL. PROVIDE NEW PENETRATION THROUGH THE CONC. WALL TO REROUTE THE LINE. SEE DETAIL 5 ON SHEET A-506 FOR MORE INFO.

37,604.2 SQ FT
6,420.8 SQ FT
2.0
4.0
142.5 FT
1,397.4 FT
36.1 FT
14.6 SQ FT
256.0
24.0
8.0
4.0
8.0
8.0
4.0
2.0
1.0
8.5 FT
1.0
229.2 FT
375.0 FT
25.2 FT
183.0 FT
14.2 FT
23.0
1,833.7 FT
403.5 FT

2 KEY NOTES

HATCH AREA REFERS TO KEYNOTE 2

3 LEGEND



1 BUILDINGS 2 & 3 - NEW ROOF PLAN



4 KEY PLAN



DON ESTRIDGE HIGH TECH MS - REROOF BLDGS. 1, 2 & 3

100% CONSTRUCTION DOCUMENTS

SDPBC PROJECT # 2711-2

1798 SPANISH RIVER BLVD

BOCA RATON, FL 33433

PROJECT NAME

NEW ROOF PLAN - BUILDING 2 & 3

SHEET TITLE

DRAWN HL

CHECKED

DATE 2-14-2025

SCALE AS NOTED

JOB. NO. 240708

SHEET

A-107

4000 Hollywood Blvd, Suite
455-S, Hollywood,
FL. 33021
Telephone 954-367-7877
Cell 954-804-3517
WWW.JAGAIA.COM

February 14th, 2025
SEAL

[illegible]

100% CONSTRUCTION DOCUMENTS

CONSTRUCTION DOCUMENT
PBBC PROJECT # 2711-2402
798 SPANISH RIVER BLVD
BOCA RATON, FL 33431

PROJECT NAME

BUILDING 1 EXTERIOR ELEVATIONS

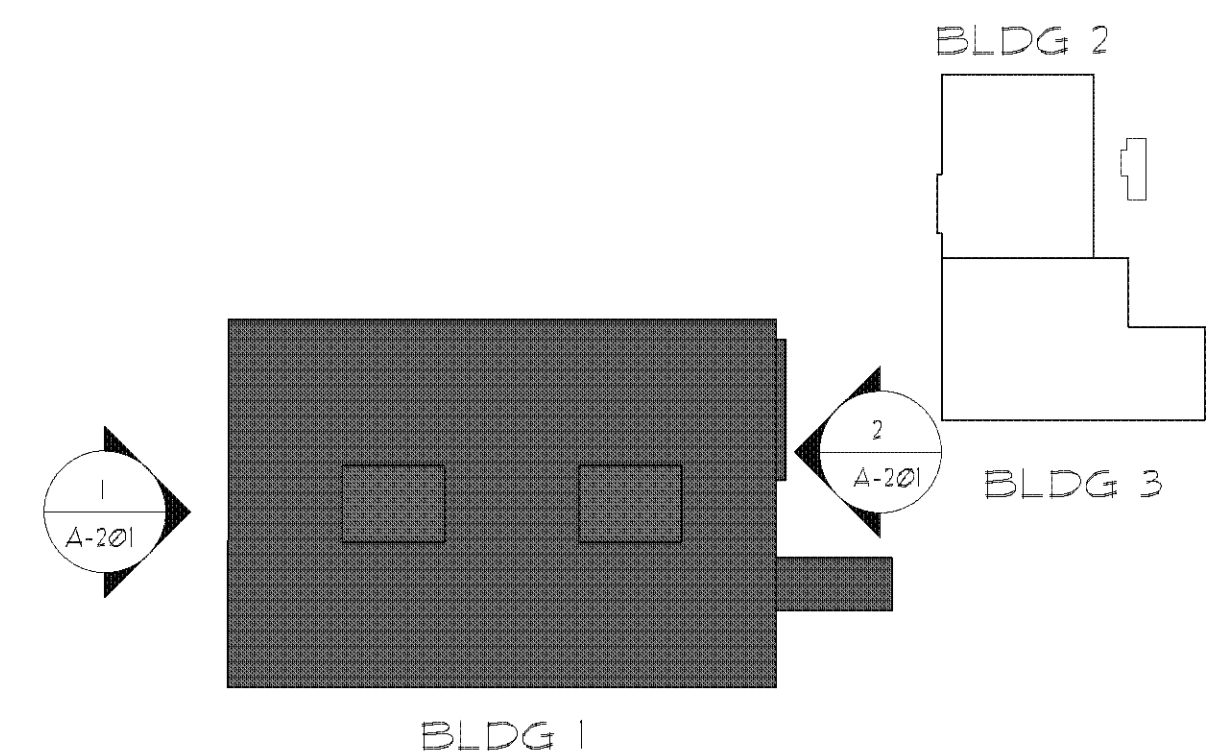
SHEET TITLE

DRAWN DD
CHECKED JG
DATE 2-14-2025
SCALE AS NOTED
JOB. NO. 240708
SHEET

A-201



- ① PATCH 1 PATCH BUILDING'S FACADE OR AREAS AFFECTED BY THE ROOFING WORK TO MATCH EXISTING
- ② NEW MIN. 40 GAUGE ALUM. COPING, TYP.
- ③ NEW ALUM. FLASHING FOR NEW EMERGENCY OVERFLOW SCUPPER CLEAR OPENING 8' WIDE. SEE DRAINAGE CALCULATIONS SHEET FOR MORE INFO. OVERFLOW INVERT SCUPPER TO BE MAX 4" ABOVE LOW POINT OF ROOF (BOTTOM OF PRIMARY ROOF DRAIN). SEE STRUCTURAL DRAWINGS FOR MORE INFO.
- ④ EXISTING LIGHTING FIXTURE TO REMAIN, COVER TO PROTECT DURING CONSTRUCTION (TYP.)
- ⑤ CLEAN ROOF AND WIRE BRUSH ANY OXIDIZED OR DAMAGED METAL. FULLY REINFORCE WITH FOLTYLENE UTILIZING ASPHALTIC URETHANE. APPLY BLEED BLOCK PRIMER TO REPAIR AREAS AND APPLY ACRYLIC COATING.



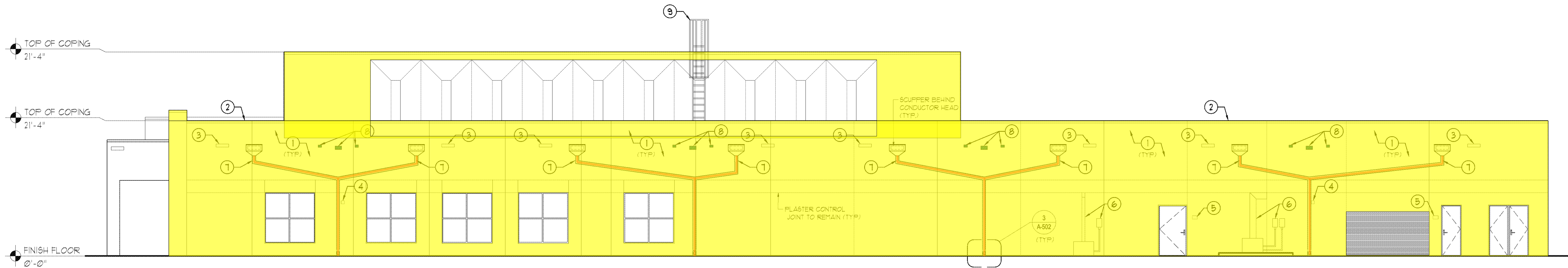
4	KEY MAP SCALE: NTS
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 NORTH

Received 4/15/25 ID 30158

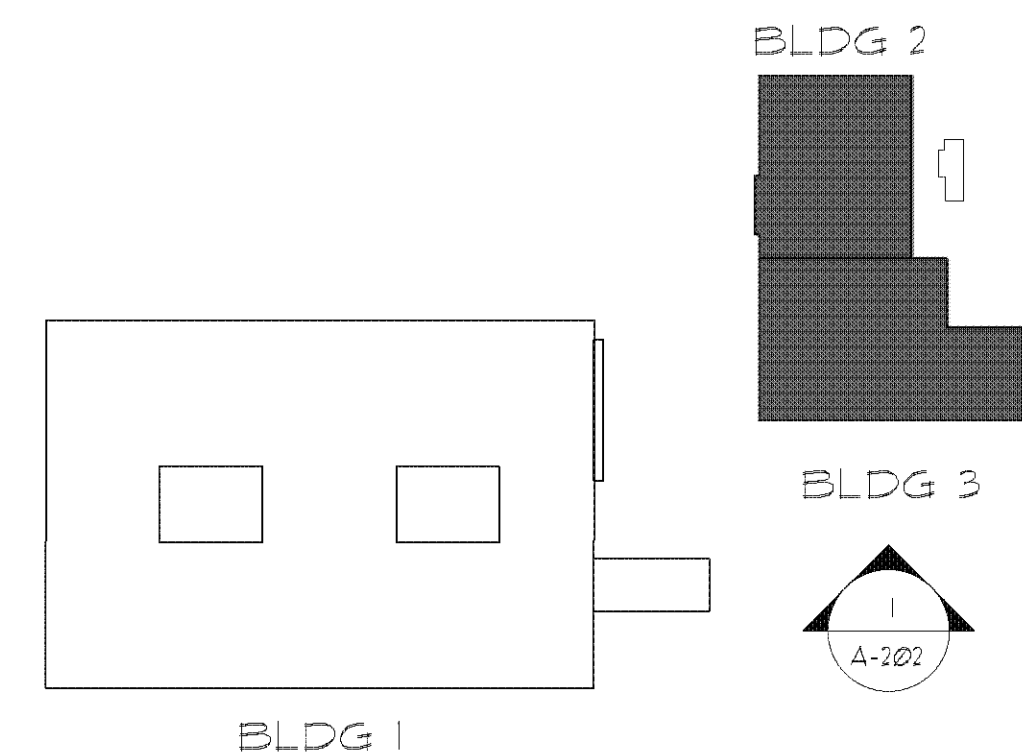
- 1. Patch and paint building facade
- 5. Metal structure refurbishment

4,399.4 SQ FT	
2,055.6 SQ FT	



1 WEST EXTERIOR ELEVATION - BUILDING 3
SCALE: 1/8" = 1'-0"

- 1 PATCH & PAINT BUILDING'S FACADE OR AREAS AFFECTED BY THE ROOFING WORK TO MATCH EXISTING
- 2 NEW MIN. 40 GAUGE ALUM. COPING, TYP.
- 3 NEW EMERGENCY OVERFLOW SCUPPER SHALL BE 24" W X 6" H CLEAR OPENING. OVERFLOW SCUPPER TO BE MAX 4" ABOVE LOW POINT OF THE ROOF (BOTTOM OF WORKING SCUPPER). SEE DRAINAGE CALCULATION SHEET FOR MORE INFO.
- 4 EXISTING LIGHTING FIXTURE TO REMAIN. COVER TO PROTECT DURING PAINTING (TYP.).
- 5 EXISTING BUILDING SIGN. COVER TO PROTECT DURING PAINTING (TYP.).
- 6 PROTECT ANY EQUIPMENT AND/OR DEVICES MOUNTED ON EXTERIOR WALLS.
- 7 NEW MIN. 40 GAUGE ALUM. CONDUCTOR HEAD AND DOWNSPOUT (5 1/4" X 5 1/4"). PROVIDE CLEAN OUT AT BASE OF DOWNSPOUT. CONNECT NEW DOWNSPOUT TO EXISTING STORM SYSTEM. PAINT NEW CONDUCTOR HEAD AND DOWNSPOUT TO MATCH EXISTING.
- 8 INFILL EXISTING SCUPPER OPENING PATCH AND PAINT EXISTING SURROUNDINGS TO MATCH EXISTING.
- 9 EXISTING CAGE LADDER CONNECTION TO BE MODIFIED FOR CORRECT COUNTER FLASHING. SEE DETAIL 5 ON SHEET A-502 FOR MORE INFO.



4,652.4 SQ FT
3.9 SQ FT
169.6 FT

4 KEY MAP
SCALE: NTS

